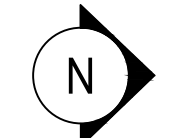


1 SITE PLAN - EXISTING / DEMOLITION
A1 SCALE: 1/8" = 1'-0"



71 ILLINOIS ADMINISTRATIVE CODE CH. I, §400 ILLUSTRATION D SUBCHAPTER D
Section 400 ILLUSTRATION D "250 Fine" Sign
Reproduced with permission from the American National Standards Institute.

ILLINOIS STANDARD R7-101

\$250 FINE

COLOR: LEGEND AND BORDER GREEN NON-REFLECTORIZED (PANTONE 340C)
BACKGROUND WHITE REFLECTORIZED

SIGN SIZE	DIMENSIONS							
	A	B	C	D	E	F	G	H
12 x 6	12.0	6.0	1.5	4.5	1.19	3.53	4.6	4.0

SIGN SIZE	SERIES LINES	MARKING	BORDER	BLK. STD.
12 x 6	3A	0.37	0.37	BS-126

All Dimensions in Inches
To be used with R7-8
*Series 3A "7"

Where a fine in excess of \$100 is established by a Municipality by Ordinance in accordance with the statute, the actual amount of the fine should be shown.
This plate may be mounted directly below the R7-8 sign or combined with that sign on a single 12-inch by 48-inch panel.
Note: For a fine of \$200, use F4.0 and G4.0 (reduce letter to letter spacing as necessary to fit).
157 Rev. 10/95

Effective January 1, 1985, Public Act 83-1316 amended Sec. 11-301 of "The Illinois Vehicle Code" to require Handicapped Parking Signs (the parking lots subject to "The Illinois Vehicle Code") to comply with R-7.5 signs shown below (U.S. Department of Transportation Standard). Existing signs may remain, but their useful lives shall not be extended by other means than normal maintenance.

NOTE: This is a standard sign and may be ordered from any traffic sign supplier by the number shown. The amount of the fine for illegally parking in the reserved space is \$100. The amount of the fine for illegally parking in the reserved space is \$100. The amount of the fine for illegally parking in the reserved space is \$100.

RESERVED PARKING

R7-8

DIMENSIONS (INCHES)

COLORS
LEGEND AND BORDER - PANTONE 340C
WHITE SYMBOL ON PANTONE 285 BACKGROUND
BACKGROUND - WHITE 156

REDUCE SPACING 80%

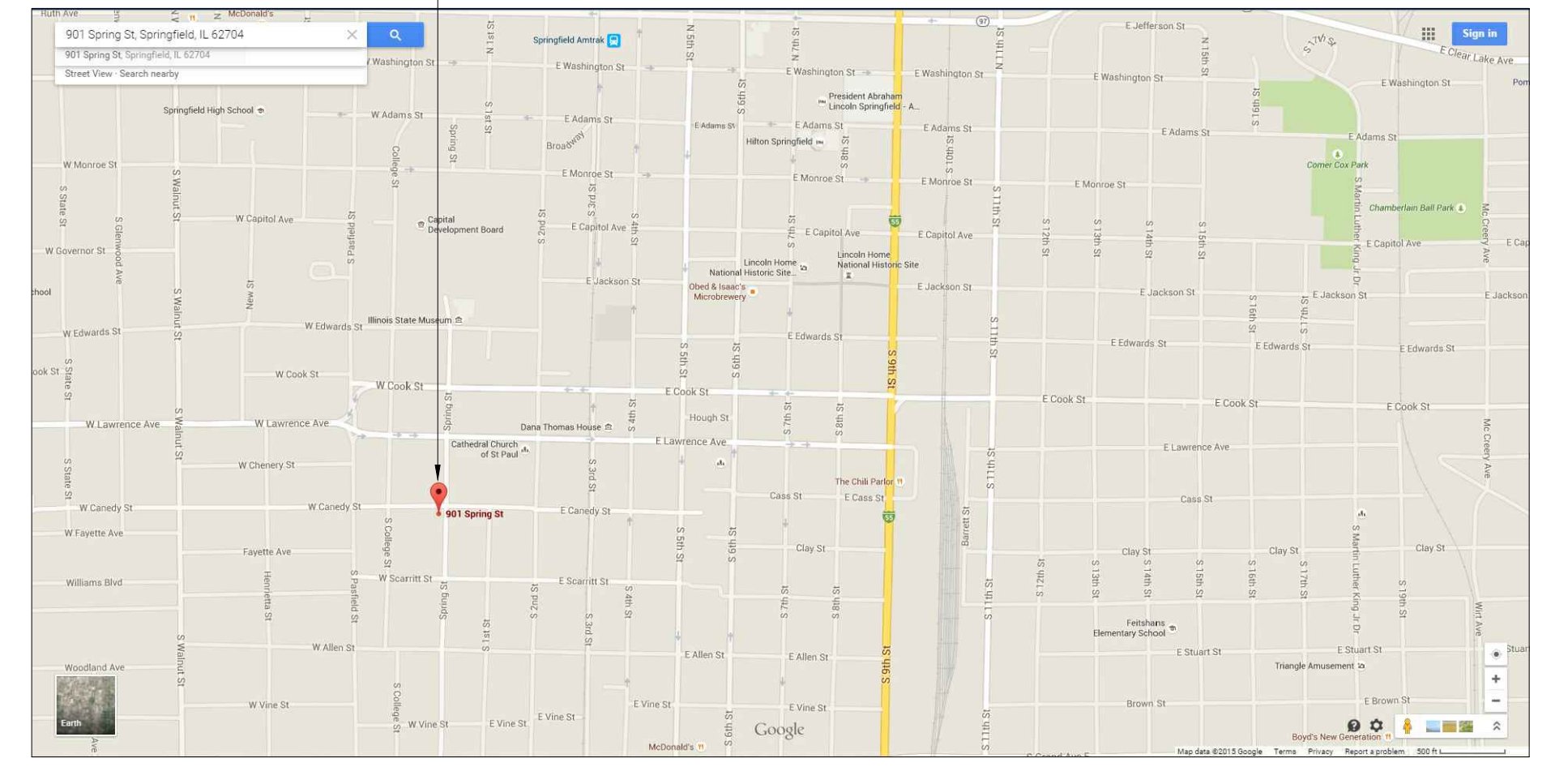
HANDICAP PARKING SIGN

NO SCALE

Signage. Accessible parking spaces shall be designated as reserved for environmentally limited persons by providing a R7-8 (U.S. Department of Transportation standard) sign which contains the international symbol of accessibility (see Illustrations C and D). Such signs shall exhibit the words "Reserved" or "Reserved for Handicapped" (or higher amount if required by local ordinance). (See Illinois Vehicle Code (625 ILCS 5/11-301 and 301.1)). Signs shall be vertically mounted on a post or wall at front center of the parking space, no more than 5 feet horizontally from the front of the parking space and set a minimum of 4 feet from finished grade to the bottom of the sign. Such signs shall be located so they cannot be obscured by a vehicle parked in the space. (ADAAG 4.6.4)

Rev. 12/95

Project Map Location
901 South Spring Street, Springfield, Illinois 62704



BUILDING DATA

TWO STORY, MASONRY, CONCRETE & STEEL BUILDING WITH BASEMENT

ZONING CLASSIFICATION: R-5

BASEMENT FLOOR = 5,350 SF, S-1 STORAGE

1ST FLOOR = 5,350 SF, B - BUSINESS

2ND FLOOR = 5,350 SF, B - BUSINESS

Insurance Partners, Inc. - Interior Remodel
901 South Spring Street, Springfield, Illinois 62704

BUILDING CODES

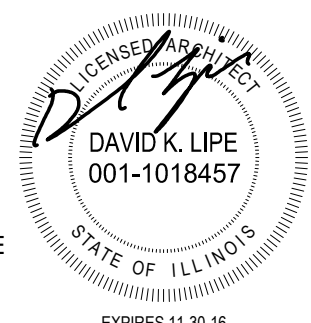
- 2012 International Building Code (IBC)
- 2012 International Property Maintenance Code (IPMC)
- 2012 International Mechanical Code (IMC)
- 2012 International Fuel Gas Code (IFGC)
- 2012 International Energy Conservation Code (IECC)
- 2011 National Electrical Code
- Illinois State Plumbing Code (ISPC)
- Illinois Accessibility Code (IAC)
- 2000 NFPA 101 Life Safety Code
- Americans with Disabilities Act (ADA)
- City of Springfield Code of Ordinances

INDEX OF SHEETS

A1	ROOF / SITE PLAN
A2	BASEMENT PLAN - EXISTING / DEMOLITION
A3	1ST FLOOR PLAN - EXISTING / DEMOLITION
A4	2ND FLOOR PLAN - EXISTING / DEMOLITION
A5	BASEMENT PLAN - PROPOSED
A6	1ST FLOOR PLAN - PROPOSED
A7	2ND FLOOR PLAN - PROPOSED

E1	BASEMENT PLAN - ELECTRICAL
E2	1ST FLOOR PLAN - ELECTRICAL
E3	2ND FLOOR PLAN - ELECTRICAL

DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS



LIPE ARCHITECTURE

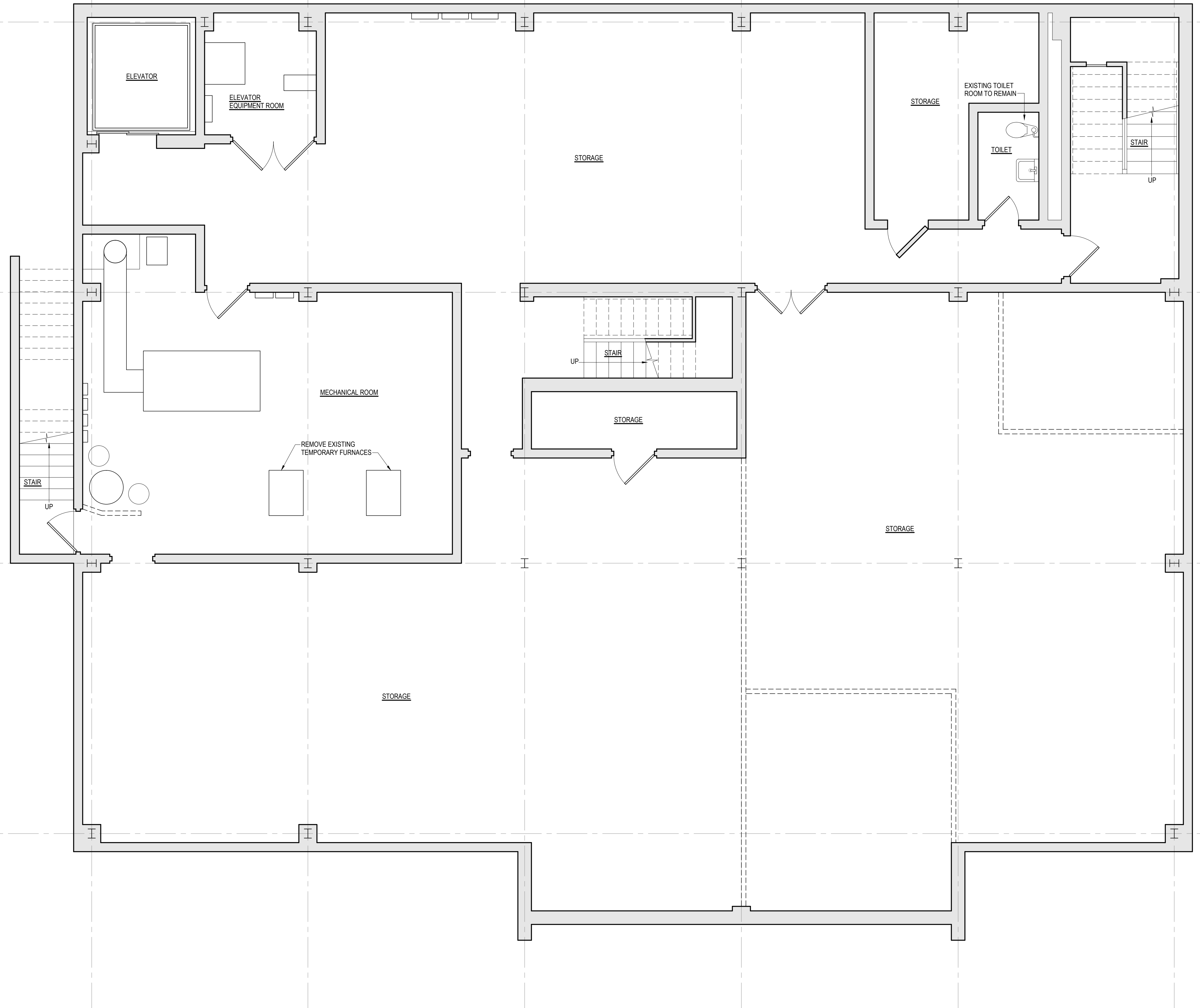
603 School Street
Nokomis, IL 62705

Phone: 217-563-7836
www.lipe-architecture.com

ROOF / SITE PLAN	PROJ. NO.: 1426
Insurance Partners, Inc. - Interior Remodel	DATE: 09-02-15
901 South Spring Street, Springfield, Illinois 62704	A1

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

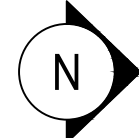
Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



GENERAL DEMOLITION NOTES

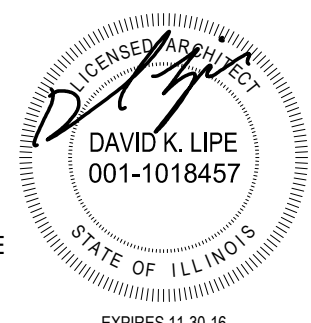
- The extent of demolition work is shown on the drawings and generally includes:
1. Dust control.
 2. Removal of existing walls, ceiling finishes, doors, frames, structure, concrete, sub-grade structures, equipment and other items indicated.
 3. Disconnecting and removing any existing utilities or services required.
 4. Removal of all debris.
- General Contractor shall do all demolition, cutting, patching, removal of walls, wall facings, etc., indicated, specified or both. It shall be the general contractor's responsibility to examine all drawings and to become personally familiar with the requirements of all trades as to the extent of the cutting and patching that will be necessary in all areas in addition to those shown on the architectural plans.
- It shall be the general contractor's responsibility to personally visit the site to determine the locations and extent of existing partitions, walls, built-in items, nature of existing materials, finishes, and other conditions affecting the work.
- In general, all necessary cutting & patching shall be done by the general contractor. All areas shall be patched with the same material as removed or with new materials indicated. Finishes shall be verified by the Contractor at job site.
- Provide temporary partition barriers to prohibit public entering areas to be remodeled.
- Maintain all required fire exits and lanes, erect and maintain barriers, fences, rails, guards, lighting, etc. as required by federal, state and local laws and regulations to protect personnel and to ensure safety for the public.
- The general contractor shall exercise care to protect the existing building from damage, and shall replace and repair at no additional cost to the Owner, damage that he may cause.
- Take precautions to guard against movement or settlement; provide bracing or shoring as necessary; be responsible for safety, support of existing structure; be liable for any such movement or settlement, any damage or injury caused thereby or resulting therefrom.
- Any damage to lawns, shrubbery, curbs, drives, walks, etc., shall be restored to their original condition.
- When encountered in work or as indicated, protect existing active utility services, where required for proper execution of work, relocate them as directed.
- If existing active services are not indicated but are encountered, require protection or relocating, request from Owner in writing for determination and decisions prior to continuing work. Do not proceed until written instructions are obtained.
- Coordinate and schedule with Owner to provide for minimum inconvenience and disturbance.
- Dust control must be provided for removal of existing work, equipment, items, etc. for the project in general. Dust control shall be designed to prevent dust from spreading into existing areas, services, or facilities. Contractor shall determine his own method of dust control and be responsible for same.
- Unless otherwise specifically approved, use only new and solid lumber of utility grade or better to construct temporary barriers.
- Any salvageable items shall remain the property of the Owner.
- All debris, waste and excessive materials shall be removed from the building and job site as it accumulates and be legally disposed of.
- Remove all tools, materials, structures, and equipment after each demolition operation is completed.

1 BASEMENT PLAN - EXISTING / DEMOLITION
A2 SCALE: 1/4" = 1'-0"



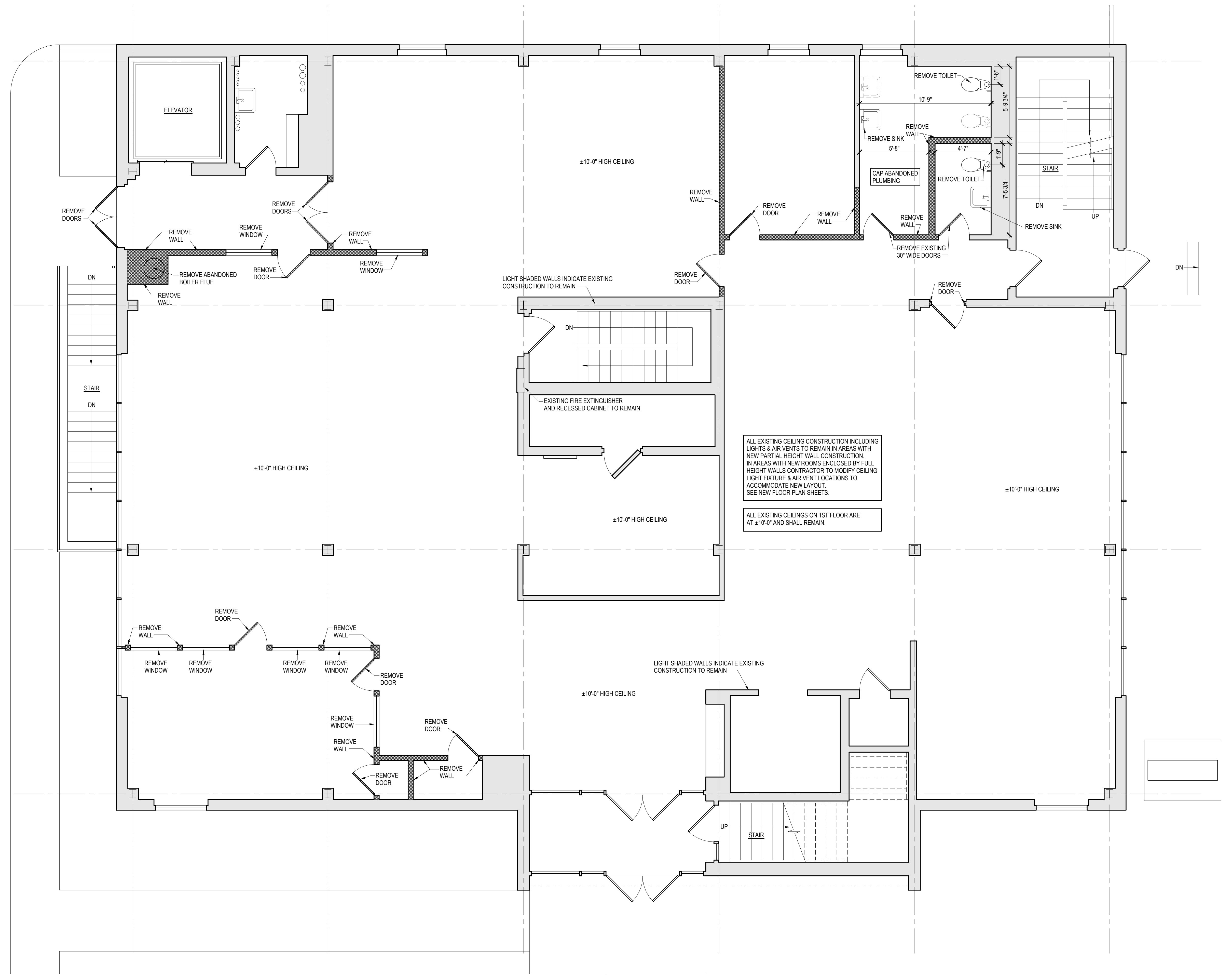
NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.

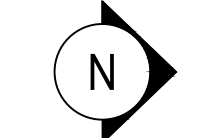


DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS

<p>LIPE ARCHITECTURE</p> <p>603 School Street Nokomis, IL 62075</p> <p>Phone: 217-563-7836 www.lipe-architecture.com</p>	<p>BASEMENT PLAN - EXISTING / DEMOLITION</p> <p>Insurance Partners, Inc. - Interior Remodel</p> <p>901 South Spring Street, Springfield, Illinois 62704</p>	<p>PROJ. NO.: 1426</p> <p>DATE: 09-02-15</p> <p>A2</p>
--	---	--



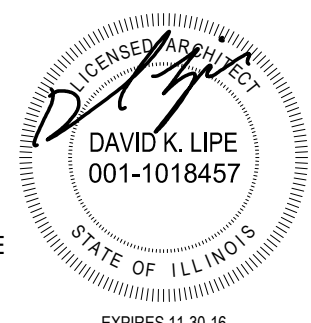
1 1ST FLOOR PLAN - EXISTING / DEMOLITION
 A3 SCALE: 1/4" = 1'-0"



ALL EXISTING CEILING CONSTRUCTION INCLUDING LIGHTS & AIR VENTS TO REMAIN IN AREAS WITH NEW PARTIAL HEIGHT WALL CONSTRUCTION. IN AREAS WITH NEW ROOMS ENCLOSED BY FULL HEIGHT WALLS CONTRACTOR TO MODIFY CEILING LIGHT FIXTURE & AIR VENT LOCATIONS TO ACCOMMODATE NEW LAYOUT. SEE NEW FLOOR PLAN SHEETS.

ALL EXISTING CEILINGS ON 1ST FLOOR ARE AT ±10'-0" AND SHALL REMAIN.

DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS

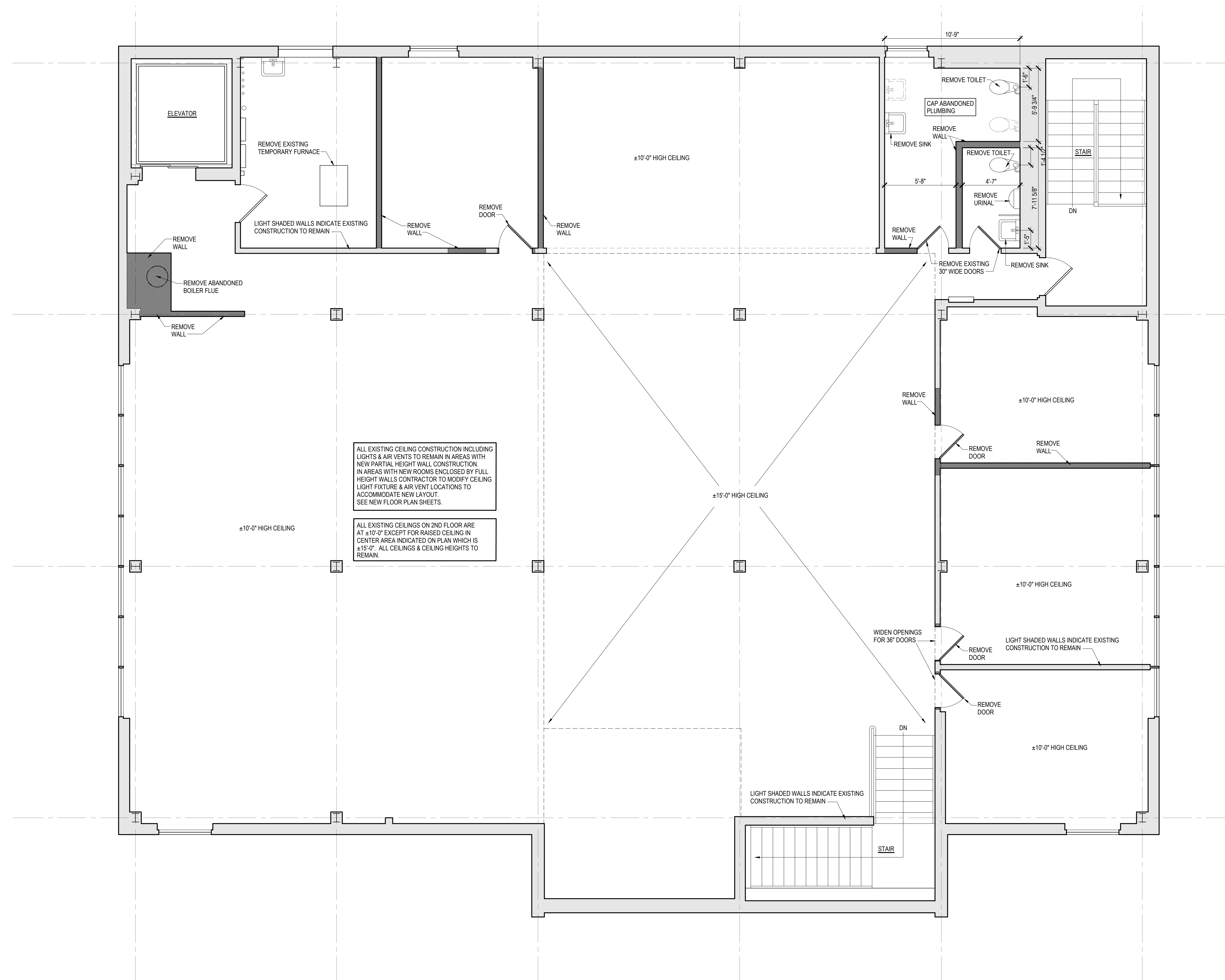


LIPE ARCHITECTURE
 603 School Street
 Nokomis, IL 62075
 Phone: 217-563-7836
 www.lipe-architecture.com

1ST FLOOR PLAN - EXISTING / DEMOLITION	PROJ. NO.: 1426
Insurance Partners, Inc. - Interior Remodel	DATE: 09-02-15
901 South Spring Street, Springfield, Illinois 62704	A3

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME. Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.

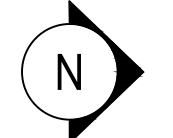
CANEDY STREET



ALL EXISTING CEILING CONSTRUCTION INCLUDING LIGHTS & AIR VENTS TO REMAIN IN AREAS WITH NEW PARTIAL HEIGHT WALL CONSTRUCTION. IN AREAS WITH NEW ROOMS ENCLOSED BY FULL HEIGHT WALLS CONTRACTOR TO MODIFY CEILING LIGHT FIXTURE & AIR VENT LOCATIONS TO ACCOMMODATE NEW LAYOUT. SEE NEW FLOOR PLAN SHEETS.

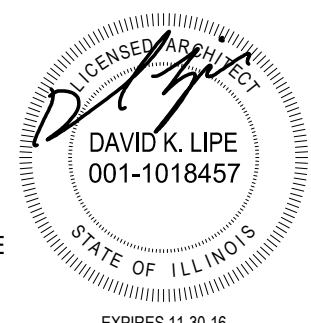
ALL EXISTING CEILINGS ON 2ND FLOOR ARE AT ±10'-0" EXCEPT FOR RAISED CEILING IN CENTER AREA INDICATED ON PLAN WHICH IS ±15'-0". ALL CEILINGS & CEILING HEIGHTS TO REMAIN.

1 2ND FLOOR PLAN - EXISTING / DEMOLITION
A4 SCALE: 1/4" = 1'-0"



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS

 603 School Street Nokomis, IL 62075 Phone: 217-563-7836 www.lipe-architecture.com	2ND FLOOR PLAN - EXISTING / DEMOLITION PROJ. NO.: 1426 DATE: 09-02-15	Insurance Partners, Inc. - Interior Remodel 901 South Spring Street, Springfield, Illinois 62704	A4
--	---	---	----

Per table 403.3 in the 2012 International mechanical code and the "breathing zone equation" listed in 403.3.1.1.
 $V_{bz} = (R_p \times P_z) + (R_a \times A_z)$
 $V_{bz} = (5 \times 54) + (.06 \times 5,350)$ (54 is the occupant load of each office floor based on 5,350 sf per floor divided by 100 gsf/occupant) (5,350 is the gsf of each floor)
 Therefore, $V_{bz} = 591$ cfm outside air per floor.

HVAC NOTE:
 Each multiple furnace system is required to have a duct smoke detector in the common return. Duct smoke detectors are required to be connected to a fire alarm system. If alarm system is not required, an audio and visual signal must be provided in an approved location for each detector. Detectors must also shut down the air distribution capabilities of the system upon activation.

THRU-WALL COLD AIR RETURN
 2 NEW FURNACES SIDE BY SIDE
 (1) 2 STAGE, 96% 50K ECM FURNACE 17W
 (1) 2 OT, 18SR, R410A CASED COIL
 (1) 17 SEER CUBE A/C
 (1) 2 STAGE, 96% 115K ECM FURNACE 24W
 (1) 5 OT, 18SR, R410A CASED COIL
 (1) 17 SEER CUBE A/C
 COLD AIR RETURN THRU-WALL IN BASEMENT WITH SUPPLY TO 2 ZONES IN BASEMENT.
 EACH AHU CONNECTED TO GRADE MOUNTED AC UNITS.
 ALL FLOORS & ALL UNITS WILL HAVE INDIVIDUAL COMBUSTION AIR & EXHAUST TO OUTSIDE VIA PVC.
 FRESH AIR PROVIDE VIA DUCTWORK TO EXISTING LOUVER WALL VENT.

3 NEW FURNACES SIDE BY SIDE
 (2) SINGLE STAGE, 96% 85K FURNACE 21W
 (1) 10T DUAL CIRCUIT COIL R410A A/C
 (2) 16 SEER CUBE A/C
 (1) 2 STAGE, 96% 115K ECM FURNACE 24W
 (1) 5 OT, 18SR, R410A CASED COIL
 (1) 17 SEER CUBE A/C
 COLD AIR RETURN VIA 1ST FLOOR RETURN PLENUM WITH SUPPLY TO 3 ZONES IN 1ST FLOOR.
 EACH AHU CONNECTED TO GRADE MOUNTED AC UNITS.
 ALL FLOORS & ALL UNITS WILL HAVE INDIVIDUAL COMBUSTION AIR & EXHAUST TO OUTSIDE VIA PVC.
 FRESH AIR PROVIDE VIA DUCTWORK TO EXISTING LOUVER WALL VENT.

ALL NEW INTERIOR WALLS TO BE 2x4 W/ID. STUDS AND 1/2" GYPSUM BOARD ON EACH SIDE (4-3/4") UNLESS NOTED OTHERWISE.

All wash room accessories, including paper towel dispensers, should be mounted 44 to 48" above the floor to the operable parts.

TOILET PAPER DISPENSERS SHALL BE CENTERED 7" TO 9" IN FRONT OF TOILET FIXTURE AND A MIN. OF 15" TO THE BOTTOM OF T.P. FROM THE FLOOR TYPICAL ALL T.P. DISPENSERS

Two-way communication systems shall provide communication between each required location and the fire command center or a central control point location approved by the fire department. Where the central control point is not constantly attended, a two-way communication system shall have a time automatic telephone dial-out capability to a monitoring location or 911. The two-way communication system shall include both audible and visible signals.

Directions for the use of the two-way communication system, instructions for summoning assistance via the two-way communication system and written identification of the location shall be posted adjacent to the two-way communication system.

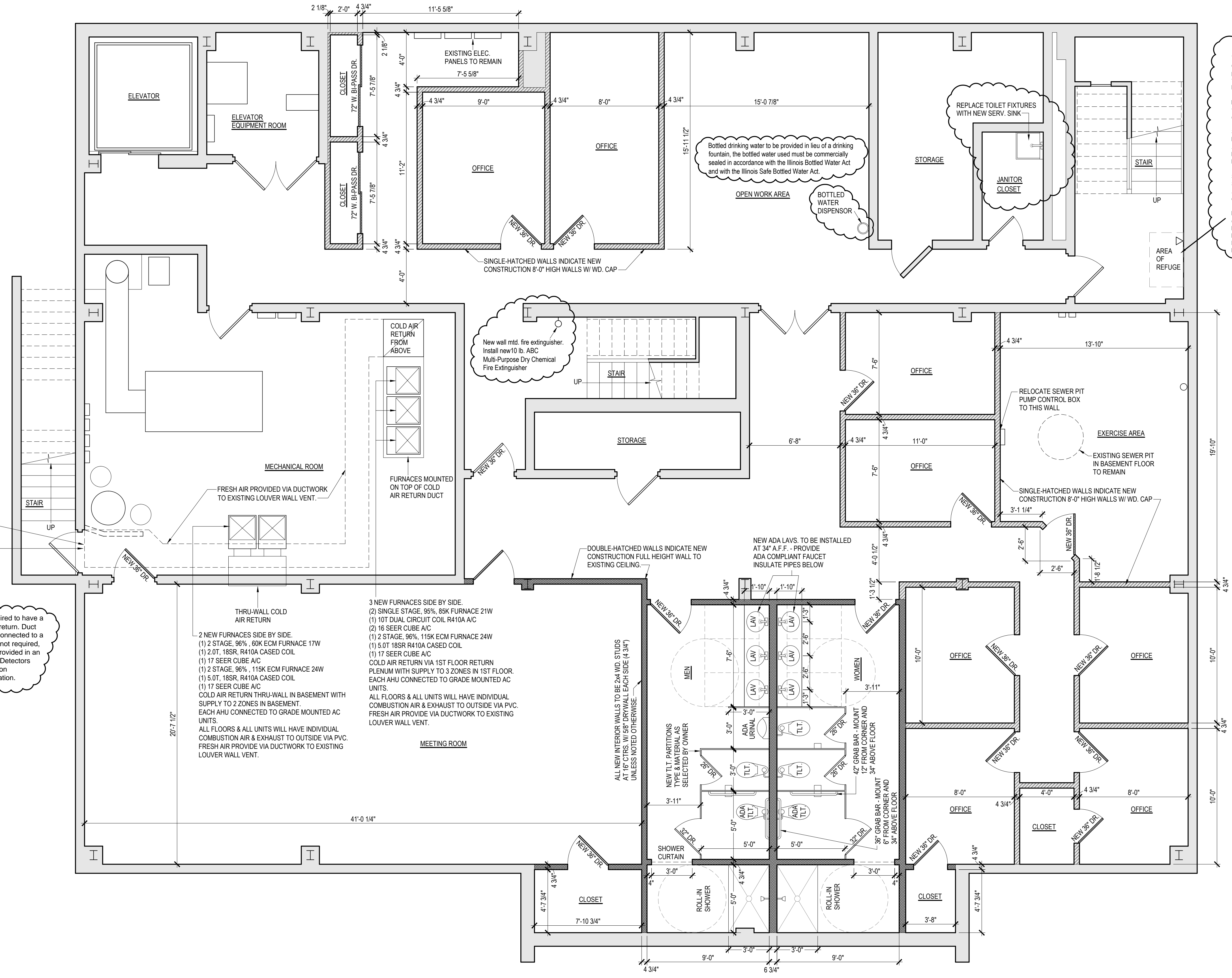
Signage indicating special accessibility provisions shall be provided as shown:
 AREA OF REFUGE
 Each door providing access to an area of refuge from an adjacent floor area shall be identified by a sign stating: EXTERIOR AREA FOR ASSISTED RESCUE.

Signage shall comply with the ICC A117.1 requirements for visual characters and include the International Symbol of Accessibility. Where exit sign illumination is required by Section 1011.2, the signs shall be illuminated. Additionally, tactile signage complying with ICC A117.1 shall be located at each door to an area of refuge and exterior area for assisted rescue.

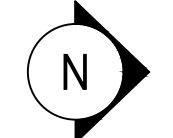
In areas of refuge and exterior areas for assisted rescue, instructions on the use of the area under emergency conditions shall be posted. The instructions shall include all of the following:
 Persons able to use the exit stairway do so as soon as possible, unless they are assisting others.
 Information on planned availability of assistance in the use of stairs or supervised operation of elevators and how to summon such assistance.
 Directions for use of the two-way communications system where provided.

GENERAL HVAC NOTES:
 1. RETURN AIR TO BE PROVIDED VIA EXISTING RETURN AIR PLENUM INTO NEW RETURN AIR DUCT LOCATED UNDER NEW FURNACE EQUIPMENT. ALL CEILING TILES / MATERIALS IN RETURN AIR PLENUM CEILING SHALL BE NON-COMBUSTIBLE OR HAVE A FLAME SPREAD INDEX OF NO MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50 AS REQUIRED BY CODE.
 2. ALL EXISTING DUCTWORK TO REMAIN. NO PROPOSED DUCTWORK MODIFICATIONS IN SCOPE OF WORK.

GENERAL NOTES:
 CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS

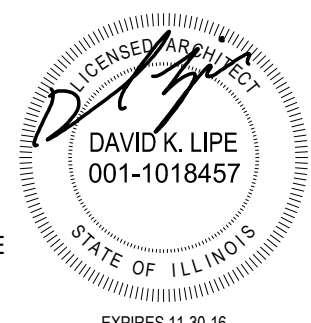


1 BASEMENT PLAN - PROPOSED
 SCALE: 1/4" = 1'-0"



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



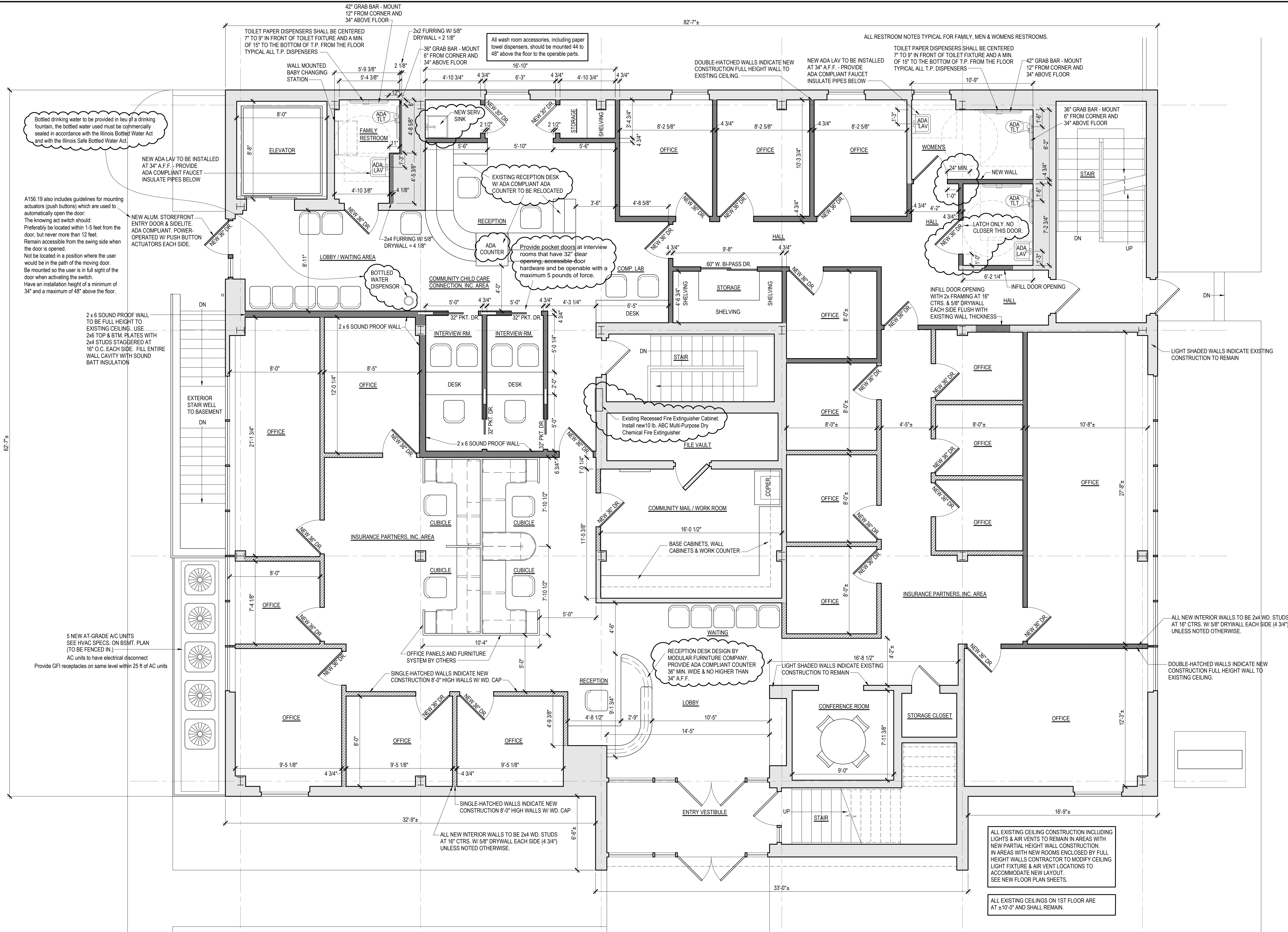
LIPE ARCHITECTURE
 603 School Street
 Nokomis, IL 62075
 Phone: 217-563-7836
 www.lipe-architecture.com

BASEMENT PLAN - PROPOSED
 PROJ. NO.: 1426
 DATE: 09-02-15

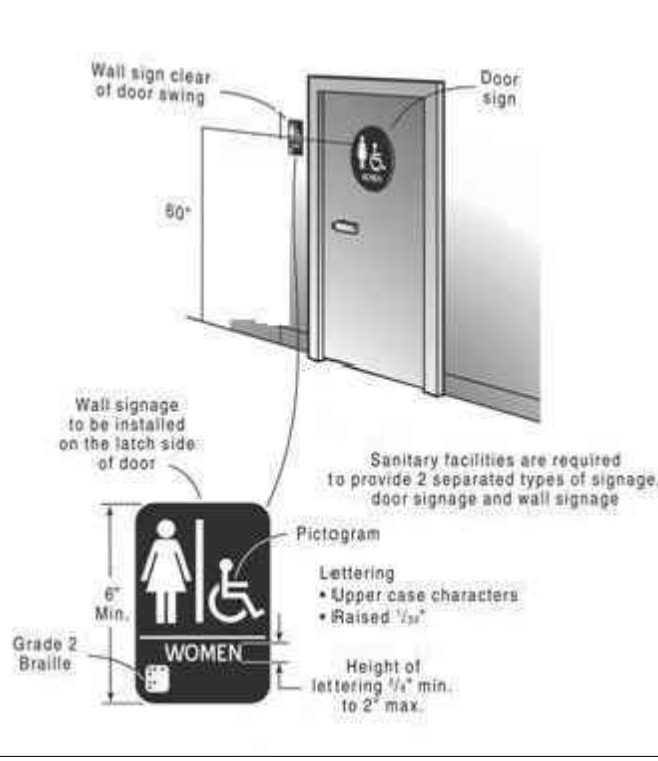
Insurance Partners, Inc. - Interior Remodel
 901 South Spring Street, Springfield, Illinois 62704

A5

DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS 12/17/15 - BASEMENT LAYOUT REVISED TO RELOCATE RESTROOMS DUE TO EXISTING SEWER PIT AND TO ADD 6 OFFICES.

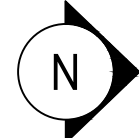


ADA RESTROOM SIGNAGE



CANEDY STREET

1 1ST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



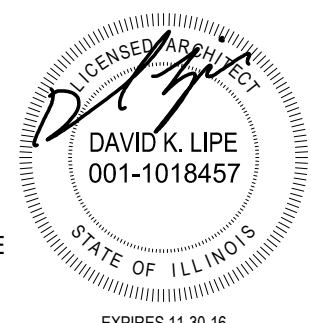
GENERAL NOTES:
CONSULT WITH OWNER FOR FINAL MATERIAL, FINISH, CASEWORK & EQUIPMENT SELECTIONS

GENERAL NOTE:
ALL DOORS TO HAVE ADA COMPLIANT LEVER TRIM HARDWARE.

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

FRAMING LUMBER
1. Load Bearing 2x4 studs shall be Premium Grade White Wood or equal with the following design values:
Fb = 1850 psi, Fc = 1850 psi, E = 1,700,000 psi

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS

ALL EXISTING CEILING CONSTRUCTION INCLUDING LIGHTS & AIR VENTS TO REMAIN IN AREAS WITH NEW PARTIAL HEIGHT WALL CONSTRUCTION. IN AREAS WITH NEW ROOMS ENCLOSED BY FULL HEIGHT WALLS CONTRACTOR TO MODIFY CEILING LIGHT FIXTURE & AIR VENT LOCATIONS TO ACCOMMODATE NEW LAYOUT. SEE NEW FLOOR PLAN SHEETS.

ALL EXISTING CEILINGS ON 1ST FLOOR ARE AT ±10'-0" AND SHALL REMAIN.

GENERAL HVAC NOTES:

1. RETURN AIR TO BE PROVIDED VIA EXISTING RETURN AIR PLENUM INTO NEW RETURN AIR DUCT LOCATED UNDER NEW FURNACE EQUIPMENT. ALL CEILING TILES / MATERIALS IN RETURN AIR PLENUM CEILING SHALL BE NON-COMBUSTIBLE OR HAVE A FLAME SPREAD INDEX OF NO MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50 AS REQUIRED BY CODE.
2. ALL EXISTING DUCTWORK TO REMAIN. NO PROPOSED DUCTWORK MODIFICATIONS IN SCOPE OF WORK.

LIPE ARCHITECTURE
603 School Street
Nokomis, IL 62075
Phone: 217-563-7836
www.lipe-architecture.com

1ST FLOOR PLAN - PROPOSED

Insurance Partners, Inc. - Interior Remodel
901 South Spring Street, Springfield, Illinois 62704

PROJ. NO.: 1426
DATE: 09-02-15

A6

4 NEW FURNACES SIDE BY SIDE.
 (1) 2 STAGE 96% 60K ECM FURNACE 17W
 (1) 3.0T 18SR CASED COIL R-410A
 (1) 17 SEER CUBE A/C
 (1) 2 STAGE 96% 86K ECM FURNACE 21W
 (1) 3.0T 18SR CASED COIL R-410A
 (1) 17 SEER CUBE A/C
 (2) SINGLE STAGE 95% 85K FURNACE 21W
 (1) ADP 10T DUAL CIRCUIT COIL R410A A/C
 (2) 16 SEER CUBE A/C
 COLD AIR RETURN VIA 1ST FLOOR RETURN PLENUM WITH SUPPLY TO 3 ZONES IN 1ST FLOOR.
 EACH AHU CONNECTED TO GRADE MOUNTED AC UNITS.
 ALL FLOORS & ALL UNITS WILL HAVE INDIVIDUAL COMBUSTION AIR & EXHAUST TO OUTSIDE VIA PVC.
 FRESH AIR PROVIDE VIA DUCTWORK TO EXISTING LOUVER WALL VENT.

Per table 403.3 in the 2012 International mechanical code and the "breathing zone equation" listed in 403.3.1.1.
 $V_{bz} = (R_o \times P_z) + (R_a \times A_z)$
 $V_{bz} = (5 \times 54) + (0.6 \times 5,350)$ (54 is the occupant load of each office floor based on 5,350 sf per floor divided by 100 gsf/occupant) (5,350 is the gsf of each floor).
 Therefore, $V_{bz} = 591$ cfm outside air per floor.

HVAC NOTE:
 Each multiple furnace system is required to have a duct smoke detector in the common return. Duct smoke detectors are required to be connected to a fire alarm system. If alarm system is not required, an audio and visual signal must be provided in an approved location for each detector. Detectors must also shut down the air distribution capabilities of the system upon activation.

New Fire Extinguisher Cabinet. Install new 10 lb. ABC Multi-Purpose Dry Chemical Fire Extinguisher.

FRESH AIR PROVIDED VIA DUCTWORK TO EXISTING LOUVER WALL VENT.

MECHANICAL ROOM

EXISTING LOUVER WALL VENT

NEW KITCHEN CABINETS, APPLIANCES & SINK

FURNACES MOUNTED ON TOP OF COLD AIR RETURN DUCT

HOOD STOVE SINK DW

BOTTLED WATER DISPENSOR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

STAIR

AREA OF REFUGE

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

NEW 3/8" DR

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

OFFICE

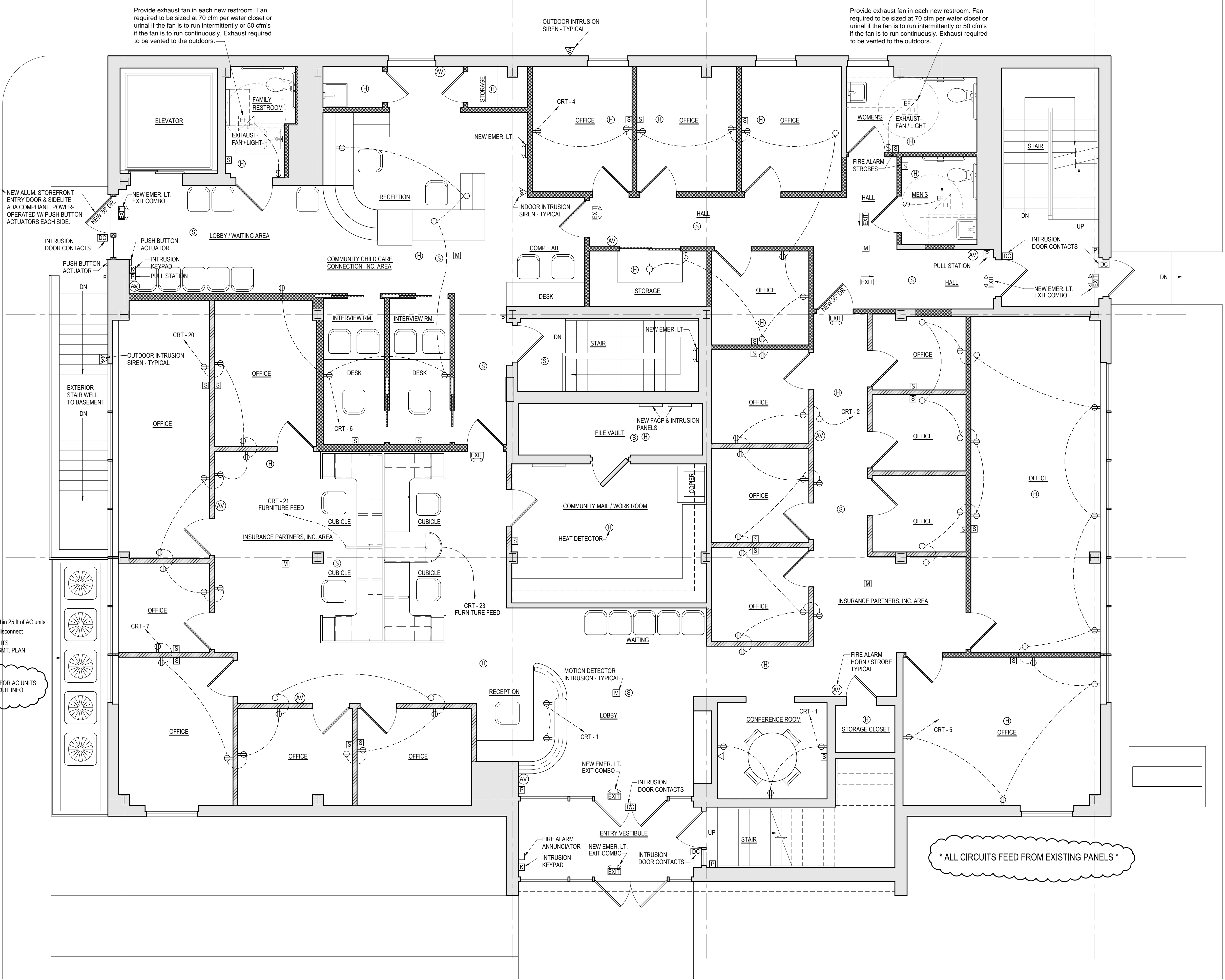
OFFICE

OFFICE

A156.19 also includes guidelines for mounting actuators (push buttons) which are used to automatically open the door. The knowing act switch should: Preferably be located within 1-5 feet from the door, but never more than 12 feet. Remain accessible from the swing side when the door is opened. Not be located in a position where the user would be in the path of the moving door. Be mounted so the user is in full sight of the door when activating the switch. Have an installation height of a minimum of 34" and a maximum of 48" above the floor.

Provide exhaust fan in each new restroom. Fan required to be sized at 70 cfm per water closet or urinal if the fan is to run intermittently or 50 cfm's if the fan is to run continuously. Exhaust required to be vented to the outdoors.

Provide exhaust fan in each new restroom. Fan required to be sized at 70 cfm per water closet or urinal if the fan is to run intermittently or 50 cfm's if the fan is to run continuously. Exhaust required to be vented to the outdoors.



Provide GFI receptacles on same level within 25 ft of AC units
AC units to have electrical disconnect
5 NEW AT-GRADE A/C UNITS
SEE HVAC SPECS. ON BSMT. PLAN
(TO BE FENCED IN.)

SEE SHEET A1 FOR AC UNITS
ELECTRIC CIRCUIT INFO.

SECURITY & FIRE ALARM SYSTEM LEGEND

(R)	RELAY
(D)	DUCT DETECTOR
(H)	HEAT DETECTOR PLUS 190°
(H)	HEAT DETECTOR 135°
(S)	SMOKE DETECTOR
(S)	INTRUSION SIREN
(P)	FIRE ALARM PULL STATION
(S)	FIRE ALARM STROBE
(K)	INTRUSION KEYPAD
(AV)	FIRE ALARM HORN / STROBE
(DC)	INTRUSION DOOR CONTACTS
(M)	360° CEILING MOUNT MOTION DETECTOR INTRUSION
(D)	DUCT SMOKE DETECTOR

SECURITY / FIRE ALARM SYSTEM BY:
Heart Technologies, Inc.
860 E. Pershing Rd.
Decatur, IL 62526
217.872.1300

ELECTRICAL SYMBOLS

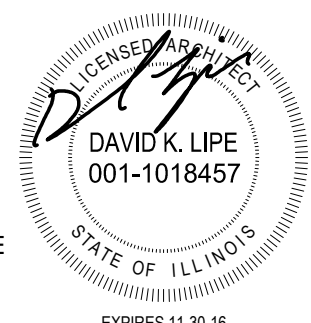
4	FOUR WAY SWITCH	GFI	GROUND FAULT INTERRUPTED	(S)	SMOKE DETECTOR
\$	SINGLE POLE SWITCH	WP	WATERPROOF	◁	TEL. / DATA OUTLET
⊕	DUPLEX OUTLET	44	INCHES ABOVE FINISH FLOOR		

1 1ST FLOOR PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"

Required that all electrical work be performed by a registered electrical contractor with the City of Springfield and obtain electrical permit. 172.12.05

NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS

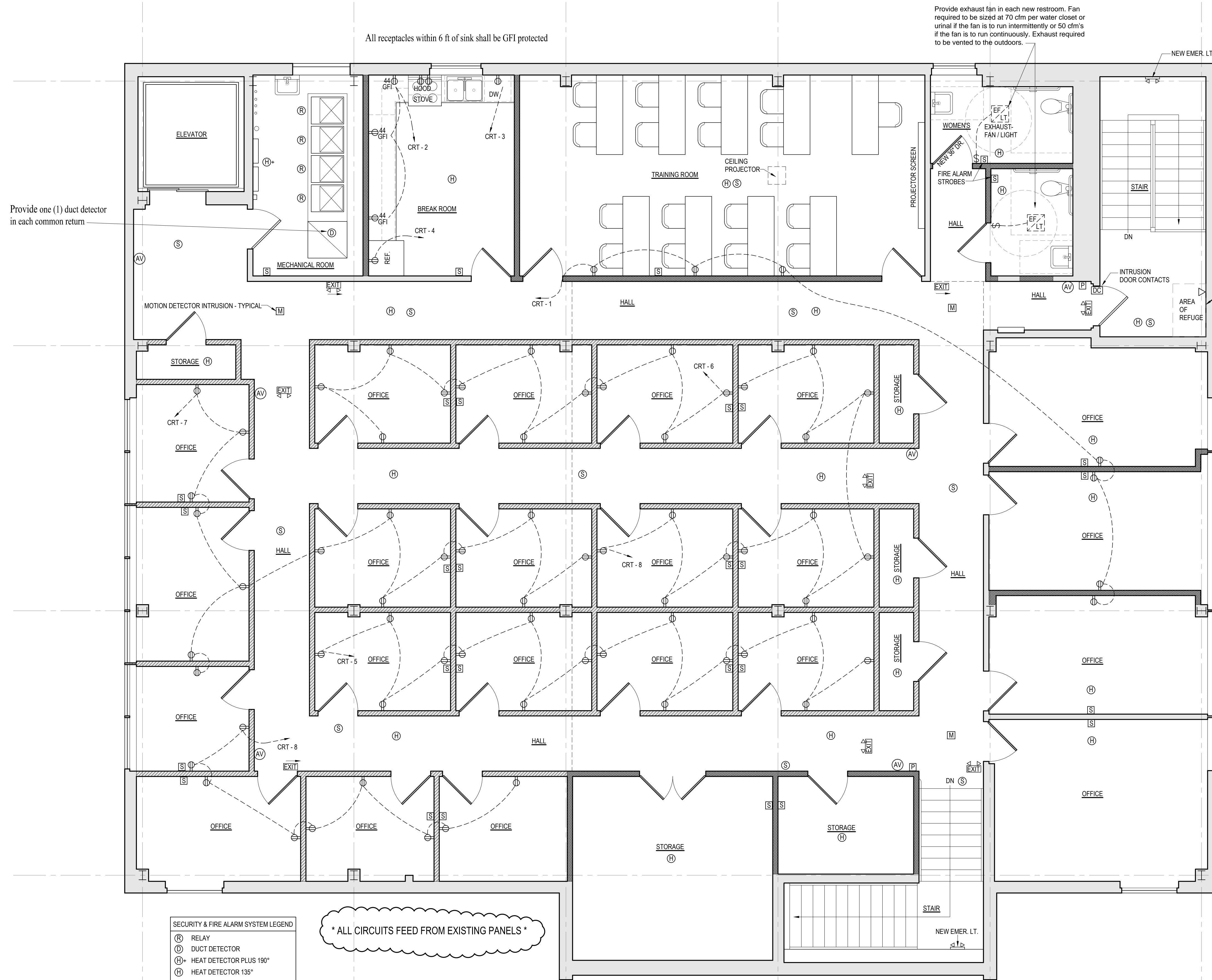
LIPE ARCHITECTURE
603 School Street
Nokomis, IL 62075
Phone: 217-563-7836
www.lipe-architecture.com

1ST FLOOR PLAN - ELECTRICAL
PROJ. NO.: 1426
DATE: 09-02-15
Insurance Partners, Inc. - Interior Remodel
901 South Spring Street, Springfield, Illinois 62704
E2

ELECTRICAL GENERAL NOTES:

- * ALL LIGHTING FIXTURES SHALL BE RATED FOR BUILDING SYSTEM VOLTAGE. CONTRACTOR MUST VERIFY ALL LOCATIONS, FURNISH AND INSTALL EACH LIGHTING FIXTURE WITH INSTALLATION AND HANGING HARDWARE AS REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION.
- * ALL FIXTURES SHALL BE "UL" LABELED. ALL LIGHTING FIXTURES EXPOSED TO WEATHER OR MOISTURE SHALL BEAR U.L. "WET LOCATION" LABEL. AND LIGHTING FIXTURES EXPOSED TO DAMPNESS SHALL BEAR U.L. "DAMP LOCATION" LABEL.
- * ALL EXIT SIGNS SHALL BE INSTALLED COMPLETE WITH ALL INSTALLATION AND HANGING ACCESSORIES TO PROVIDE AN UNOBSTRUCTED VIEW OF EACH SIGN FACE AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND LOCATION OF ALL EXIT SIGNS WITH LOCAL AUTHORITIES. MOUNT SIGNS AT MAXIMUM 8'-0" IN HIGH CEILING AREA.
- * ALL EXIT SIGNS AND BATTERY EMERGENCY UNITS MUST BE APPROVED BY LOCAL CODE. AND MAINTAIN A MINIMUM OF 90 MINUTES OF CONTINUOUS ILLUMINATION.
- * ELECTRICAL CONTRACTOR SHALL VERIFY TOTAL CONNECTED LOADS AND HORSE POWER WITH OTHER TRADES CONTRACTORS PRIOR TO WIRING OF ALL EQUIPMENT.
- * CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS WITH OWNER PRIOR TO MAKING THE ACTUAL ELECTRICAL INSTALLATION.
- * ALL WIRING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE "NEC" AND LOCAL CODE AUTHORITIES HAVING JURISDICTION.
- * CONTRACTOR TO WIRE ALL HVAC CONTROL DEVICES AND COORDINATE WITH OTHERS.
- * ALL EXPOSED WIRING SHALL BE CONTAINED IN CONDUIT OF PROPER SIZE.
- * ELECTRICAL PANEL TO BE LABELED CORRECTLY WITH LEGIBLE PRINT.
- * ALL OUTDOOR RECEPTACLES TO HAVE "WET LOCATION - IN USE" COVERS.

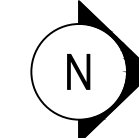
All receptacles within 6 ft of sink shall be GFI protected



- SECURITY & FIRE ALARM SYSTEM LEGEND**
- (R) RELAY
 - (D) DUCT DETECTOR
 - (H+) HEAT DETECTOR PLUS 190°
 - (H) HEAT DETECTOR 135°
 - (S) SMOKE DETECTOR
 - (V) INTRUSION SIREN
 - (P) FIRE ALARM PULL STATION
 - (S) FIRE ALARM STROBE
 - (K) INTRUSION KEYPAD
 - (AV) FIRE ALARM HORN / STROBE
 - (DC) INTRUSION DOOR CONTACTS
 - (M) 360° CEILING MOUNT MOTION DETECTOR INTRUSION
 - (D) DUCT SMOKE DETECTOR

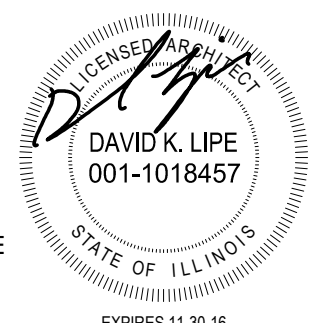
SECURITY / FIRE ALARM SYSTEM BY:
 Heart Technologies, Inc.
 860 E. Pershing Rd.
 Decatur, IL 62526
 217.872.1300

1 2ND FLOOR PLAN - ELECTRICAL
 E3 SCALE: 1/4" = 1'-0"



NOTE: CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY RESPONSIBLE FOR SAME.

Illinois law requires anyone digging, regardless of the depth of the project, to call JULIE at 1-800-892-0123. This notice must be at least 48 hours/two working days prior to the start of excavation and the project must begin within 14 calendar days from the call.



DRAWINGS REVISED 10/30/15 PER CITY OF SPRINGFIELD BP-15-2288 REVIEW COMMENTS AND PER OWNER REQUESTED CHANGES; ADDITIONAL REVISIONS MADE 11/20/15 PER SUPPLEMENTAL PLAN REVIEW COMMENTS

LIPE ARCHITECTURE
 603 School Street
 Nokomis, IL 62075
 Phone: 217-563-7836
 www.lipe-architecture.com

2ND FLOOR PLAN - ELECTRICAL
 PROJ. NO.: 1426
 DATE: 09-02-15
Insurance Partners, Inc. - Interior Remodel
 901 South Spring Street, Springfield, Illinois 62704
E3